

A one-sided street of attractive and substantial C19 town houses with views across the green open space of Parker's Piece. The street's southern end is more enclosed with the University Arms Hotel standing between the road and open space, acting as a landmark in views across Parkers' Piece.

Park Terrace is built on land that used to be known as Nuns' Garden because it was laid out by the nuns of St. Radegund (now known as Jesus College). Developed by Jesus College for housing during the 1830s, the first inhabitants included several clergymen, as well as army officers. Today Emmanuel College own most of the houses and use them as accommodation

for post-graduate students. They are set back from the road with green front gardens, including several large trees, whilst the terraced blocks are distinguished by the unusual cast iron verandas that runs along the first floors. The newly redeveloped University Arms Hotel encloses the south east end of the street.



Street view

SIGNIFICANCE - SIGNIFICANT

General Overview

The townhouses and villas forming the south east facing frontage of Park Terrace are all Listed as buildings of special historic and architectural interest, together forming a frontage overlooking the park of considerable aesthetic value and representing a single phase of development in the 1830s as part of the eastward expansion of Cambridge. The development varies in scale from two storey villas at the southern end of the row to the tall three storey blocks with basements. These are ornamented by cast iron verandas that contribute to the horizontal emphasis of these buildings as well as providing visual interest in their copper roofs and



Townhouses



Northern stretch open to Parker's Piece

is open to the pavement and receiving plentiful sunlight that illuminates the tall trees standing along the park's northern boundary.

The south western section of Park Terrace by contrast is more enclosed and contrasts strongly with the more open section. The hotel building is currently being redeveloped and is under construction. The new design includes the use of new timber sash windows, stone cladding and a large porte-cochere to the Regent Street elevation.

South of the car park, No. 1 Regent Street stands on the corner of Park Terrace and extends a

delicately moulded ironwork.

The gardens provide a green setting to the buildings and complement the green open character of Parker's Piece. Historically they would have been defined by iron railings, although these have been removed (possibly during the Second World War). The long terraces, with a parapet roofline create a cliff-like edge to Parker's Piece, although their generous fenestration, pale coloured Gault brick and the visual break of the veranda contribute to a lightness of composition that complements the openness of the park. The openness of this northern stretch of the street is exceptional with unrestrained views across Parker's Piece, which

considerable distance up it. Built in the late 1930s it is conscientiously Neo-Georgian in character and complements the earlier buildings of the street to the north, although its architectural details are rather heavy in comparison to those of the 1830s townhouses. It has a modern extension built in a matching style. As a substantial three storey block that breaks forward at the street corner to rise from the rear of the pavement, it contributes to the enclosure of the street creating a narrow entrance that makes this appear to be a minor backstreet from Regent Street.

Where the street opens out north of the hotel, a pavilion



Rear of No. 1 Regent Street



Hobbs Pavilion as seen from Parker's Piece

building stands within a triangle of space that is bounded by iron bollards and railings. This is the pavilion built in the 1930s to replace the rudimentary facilities provided for Victorian cricketers at Parker's Piece, representing a considerable continuity of use of the space for recreation. The building is named after Jack Hobbs, who started his cricketing career in Cambridgeshire and famously beat W.G. Grace's record for runs scored. Hobbs played in a celebratory game to inaugurate the pavilion's opening in 1930. The pavilion retains its changing rooms and clock housed in a rooftop cupola, supporting the continued use of Parker's Piece as a space for cricket matches. Overall it retains its 1930s form although the central part of the building is now a restaurant. Like the hotel, its best face is presented to the park. The flat-roofed extension at the rear seen from Park Terrace is the building's least attractive elevation. The surrounding car park adds little to the aesthetic value of this aspect. Both present an opportunity for enhancement.

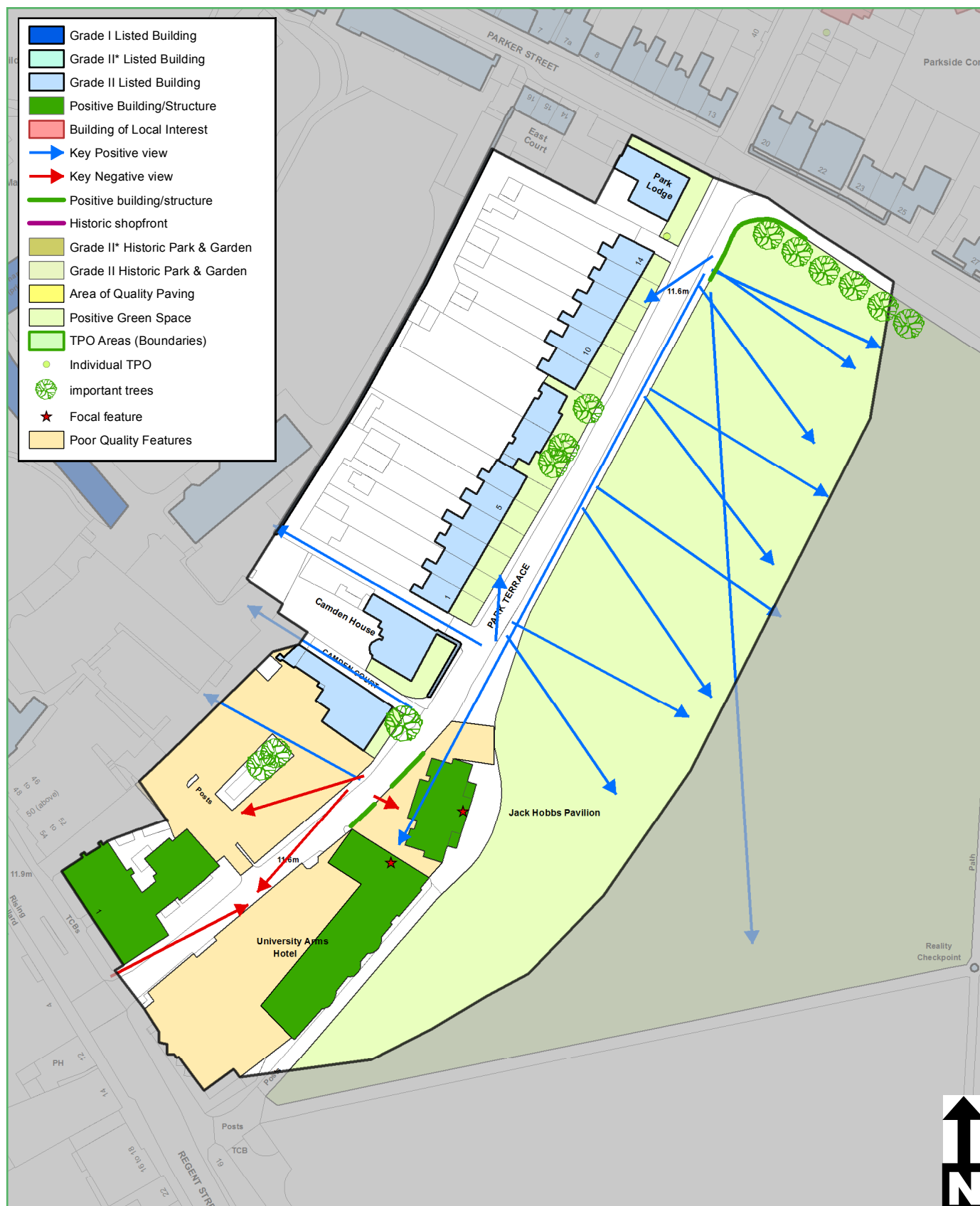
The houses are mostly in use by Emmanuel College, though No. 1 Regent Street, a former GPO Telephone Exchange [with GRV plaque] and Furness Lodge contain The University of Cambridge Local Examinations Syndicate [a.k.a 'Cambridge Assessments']. Despite its central location, Park Terrace manages to retain a genteel residential air. It can, however, be quite busy at peak times when it is used by traffic as an alternative route to Gonville Place for heading out of town. The parking bays [including a bus 'lay over' stop] are also well used, particularly when there are cricket matches or other events on Parker's Piece. Camden House is unusual in that it does not have a front door – the entrance is to the side.



Furness Lodge



Camden House



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Townscape Elements

- The buildings of the Park Terrace development (see table below) present a strong early C19 architectural character as a prestigious area of housing of between two and three storey town houses and villas in uniform Gault brick with consistent detailing of windows such as six-over-six pane sash windows which are generally, though not universally, well preserved. The style of architecture is restrained with detail added as high quality construction (such as gauged brick flat-arches over windows) rather than heavy use of detail. The long cast iron verandas on the fronts of the two terraced blocks, however, are an exception providing detail - whilst maintaining restraint - through the lightness of the ironwork's form.
- The building line on the west side is consistently set back contributing to the spacious quality of the street.
- The buildings conform to a strong building line that reflects their origin as a unified development with a unified architectural character.
- The views across the wide expanse of Parker's Piece are particularly fine. The spire of Our Lady and the English Martyr's Roman Catholic Church provides a focal feature to the south east and the line of trees on the northern edge of the park provides a well defined limit to the view.



Views across Parker's Piece

- The front gardens of the houses contribute to the green and attractive nature of the street, whilst retaining well defined division of public and private space through retention of dwarf walls, reinforced in places by hedges behind.
- The car park at the confined south end of the street opens up the space and permits glimpsed views to Emmanuel College beyond.
- The Gault brick frontages of the University Arms Hotel, with classical detailing and taller



University Arms Hotel

four storey scale, make the building attractive and eye-catching at the edge of the park whilst remaining in sympathy with the earlier buildings.

- The materials and detailing of No. 1 Regent Street provides some harmony with the earlier townhouses, whilst achieving a distinctive character. It is a positive building on a prominent corner site.

Streetscape Enhancement

The front boundary walls of the properties need repairing and reinstatement of the lost railings would be a major enhancement of the street.

More appropriate street lights and better, smaller road signs would also benefit the street. The carriageway is in a particularly poor state of repair.

Redevelopment Opportunities

The rear elevation of Hobb's Pavilion also provides an opportunity to enhance the park's edge, which might include improvement of the car parking area.

The buildings along Park Terrace are generally very good and there is, therefore, very little scope for redevelopment. However, several of the houses have good outbuildings, accessed from the two rear lanes - true mews - which are not in good condition and should be repaired and appropriate uses found for them.

Building No./ Name	Status	Age	Height (Storeys)	Wall Materials	Roof Form / Materials	Architect	Notes
1 Regent Street	Positive building	1939	3	creamy brick	tiled	George Ford	Former telephone exchange
Furness Lodge	Listed Grade II	mid C19	2	Gault brick	hipped / slate		Front railings
Camden House	Listed Grade II	early C19	2	Gault brick	hipped / slate		all part of the unified Park Terrace Development
1-6	Listed Grade II	1835	3 + basements	Gault brick	parapet / slate		
7 & 8	Listed Grade II	1831	3 + basement	grey Gault brick	slate + copper flat-roofed dormers		
9 -14	Listed Grade II	1839-40	3 + basements	Gault brick	parapet / slate		
Park Lodge	Listed Grade II	early C19	2	Gault brick	hipped / slate		
Jack Hobbs Pavilion	Positive building	1930s, extended 1960s	1	brown brick	pantiles		
University Arms Hotel	Positive building	1903-27 & 1965-66	2-4	brick & concrete	flat & slate + copper cupolas	G.J. Skipper & Feilden & Mawson	1960s wing has been demolished & the hotel redeveloped